

RANCHO SANTIAGO COMMUNITY COLLEGE DISTRICT



ADDENDUM NO. 1

**Bid #1461 Buildings L, T, W & X HVAC & Roof Replacement Project
at
Santa Ana College**

Address: 1530 West 17th Street, Santa Ana CA 92706

**Project ID #2957,
Buildings L, T, W & X- HVAC & Roof Replacements**

September 18, 2024

**Owner:
Rancho Santiago Community College District
2323 North Broadway, Room 112
Santa Ana, California 92706**

Bid #1461 Buildings L, T, W & X HVAC & Roof Replacement Project (SAC)
Project ID #2957
Rancho Santiago Community College District Rev230106
Addendum No.1

RECEIPT OF THIS ADDENDUM MUST BE ACKNOWLEDGED ON BID FORM WHEN
SUBMITTED

The following changes, additions, deletions or corrections shall become a part of the Contract Documents for the project named on the previous page and all other conditions shall remain the same. The Bidders shall be responsible for transmitting this information to all affected Subcontractors and Suppliers, prior to the closing of Bids. Prospective Bidders shall acknowledge receipt of all Addenda in the space provided on the Bid Proposal Form by the number (list every addenda). Failure to do so shall deem the Bid Proposal as non-responsive and subject the Bidder to disqualification.

Item No. AD 1-1: Clarification - Staging and Logistics

Please see attached revised Attachment D with an updated Staging and Logistics plan.

Item No. AD 1-2: Revised Drawings

The following information is revised by this addendum – see Attachment

- Delete keynotes 1 on ED1.02 and keynote 9 on A2.03. The described disconnection and removal scope work are removed from the work.
- On sheet MD1.02, delete the three similar notes at AH 1, 2 and 3, "Disconnect existing condensing unit and abandon in place. Remove refrigerate piping and associated supports routed to Building G". The described disconnection and removal of piping and supports are removed from the work.
- On sheet MD1.02, delete note, "Contractor to provide alternate bid for complete removal and disposal of (3) existing AC units shown."
- On sheet M1.02, delete note, "Contractor to provide alternate bid for complete removal and disposal of (3) existing AC units shown."
- On sheet M1.03, add keynote 1 to the page with an arrow head on RTU X-1.
- On sheet ED1.01, delete keynote 2 at EF1 and EF2.
- At spec section 230923-2.1-B, insert "4. Next Level Services. Contact Sandeep Dhillon. (213) 503-2022. sd@nextlevelems.com"

Item No. AD 1-2: Responses to RFIs

The following provides a response to the Bidder's Request for Information (RFI). See attached a total of (10) RFI responses.

Enclosures:

Attachment D - Staging and Logistics plan

Attachment E – Drawings

Attachment F - Zoning Diagram

RFIs 1 through 10.

Addendum 1

STAGING AND LOGISTICS

GENERAL

The Contractor shall submit a Staging and Logistics plan showing how the work will be done with respect to: work hours; access; paths of travel; crane locations; dumpster locations; safety escorts to moving equipment; noise, odors; demo activities; lifts; materials deliveries; Campus activities, and others.

1. The Contractor is responsible for working around Campus activities and events. Campus activities will take priority in case of conflict, and this shall be included in the Contract price and schedule.
2. There will be a single laydown and logistics area as shown below. The main laydown area can be used to store equipment and materials. Portable restrooms shall be located within. The area shall be fenced by the General Contractor with like-new 6' chain link fence, green sandbags placed on each stand on the inside of the enclosure, and neatly installed new black or dark green fabric. The area shall be kept neat and tidy at all times. The laydown area will be accessible during both day and night hours.
3. Portable restrooms shall be serviced only between the hours of 9PM to 6AM.
4. For safety, traversing through Campus on the concrete paved areas surrounding the buildings with truck type equipment is limited to the hours of 9PM to 6AM subject to District approval, all days. This includes but not limited to: delivery vehicles; aerial lift equipment; cranes; dumpster service trucks; work trucks; porta potty trucks; pickup trucks; and other similar equipment.
5. The Campus entrance roads, and other asphalt vehicular roads will be available for daytime use, as will access to the laydown area.
6. Deliveries to the laydown area all hours subject to District approval, and events on Campus, are allowed. At least one flagman with reflective safety vest and handheld slow/stop sign from the General Contractor is required to be present during deliveries for safety, coordination and clean up.
7. Work areas at the buildings where equipment is used between 9PM and 6AM shall be delineated with reflective, 45" – 48" height delineator posts with rubber bases placed every 20' minimum. Caution tape shall be run continuously attached to the tops of the delineators, surrounding the work area entirely.
8. All equipment shall be cleared from the sites and contained inside the laydown area between the hours of 6AM and 9PM daily.
9. All motorized equipment moving through campus off the main ring road shall be accompanied by flagmen with reflective safety vests.
10. Protect concrete walkways. Non-marking tires are required on concrete walkways. Any tire tracks shall be removed and cleaned completely by 6AM. Use power washing equipment and attachments as needed, or as directed by the College.

ATTACHMENT D Staging & Logistics - L, T, W & X Roof and HVAC Replacement Project at Santa Ana College

11. Provide informational and safety signage for any closed areas, closed access ways, and other items. Include a minimum of 40 professional, industry-standard, hard plastic, custom lettered information signs minimum 16" x 32".
12. All safety measures shall be the responsibility of the Contractor and shall not incur additional costs to the Contract.

ROOFING LOGISTICS AND COORDINATION

1. Sequencing of the roofing work shall be: Bldg L Library first; followed by Bldg X Security; and Bldg T Technical Arts, in that order. Work on one roof shall be substantially complete and accepted prior to starting the next. Roofs are to be done one at a time.
2. Roof tear-offs shall be done off-hours between 9PM and 6AM subject to District approval, any days of the week. During tear off, dust and debris inside the buildings shall be monitored by a dedicated person. Dust and debris detected shall be identified, stop work, remedied, controlled, and cleaned up continuously.
3. Due to noise impacts on the Library, all Building L roofing work shall be done off-hours between 9PM and 6AM subject to District approval, any days of the week.
4. A dedicated safety meeting will be held at each roof prior to beginning roofing activities. The meeting shall be attended by a named fall protection Safety Competent Fall Protection Person from the General Contractor. The General Contractor's Safety Competent Fall Protection Person shall be present at all times during roof activities. Additionally, a named fall protection Safety Qualified Fall Protection Person shall be on the Contractors staff and available throughout the duration of the project. A Safety Qualified Fall Protection Person has a recognized degree or professional certificate and extensive knowledge, training, and experience in the fall protection and rescue field, and who is capable of designing, analyzing, evaluating, and specifying fall protection and rescue systems. All work shall be in accordance with OSHA Safety Standards.

HVAC LOGISTICS AND COORDINATION

1. The sequence of HVAC work shall be Bldg L Library first, followed by the others in any order. HVAC work at Building L shall be complete and accepted by the District before moving to the next building.
2. Due to noise impacts on the Library, all Building L HVAC work shall be done off-hours between 9PM and 6AM subject to District approval, any days of the week. Daytime work hours shall be allowed at the sole discretion of the District.
3. HVAC and exhaust fan units shall be removed and put back on line one at a time. After an HVAC unit or exhaust fan is turned off for removal, the new unit must be functional, and fully communicating with the Districts Building Automation System, and accepted before removing the next additional unit(s) and taking off-line.
4. All heating and cooling units and exhaust fans, new and existing, must be operational at each unit during the hours of 6AM – 10PM daily, or when the affected area is in use by the College. If this condition cannot be met, the Contractor shall provide adequate temporary cooling or heating to the affected areas.

ATTACHMENT D Staging & Logistics - L, T, W & X Roof and HVAC Replacement Project at Santa Ana College

5. Provide temporary conditioning to all areas affected by the scope of work. All spaces affected shall have no interruptions in any utility services including HVAC, electric, plumbing, etc. The contractor shall provide temporary spot coolers/heaters as necessary to maintain the existing conditions of all spaces affected by the scope of work. Refer to Attachment I for further information on temporary conditioning.
6. Prior to removing HVAC equipment, confirm with the District that all data points on the Building Automation System are communicating properly and verify existing operating condition with the District representative before proceeding.
7. A dedicated safety meeting will be held at each roof prior to beginning HVAC activities. The meeting shall be attended by a named fall protection Safety Competent Fall Protection Person from the General Contractor. The General Contractor's Safety Competent Fall Protection Person shall be present at all times during roof activities. Additionally, a named fall protection Safety Qualified Fall Protection Person shall be on the Contractors staff and available throughout the duration of the project. A Safety Qualified Fall Protection Person has a recognized degree or professional certificate and extensive knowledge, training, and experience in the fall protection and rescue field, and who is capable of designing, analyzing, evaluating, and specifying fall protection and rescue systems. All work shall be in accordance with OSHA Safety Standards.

SANTA ANA COLLEGE

17TH ST

Multipurpose W

Technology T

Security X

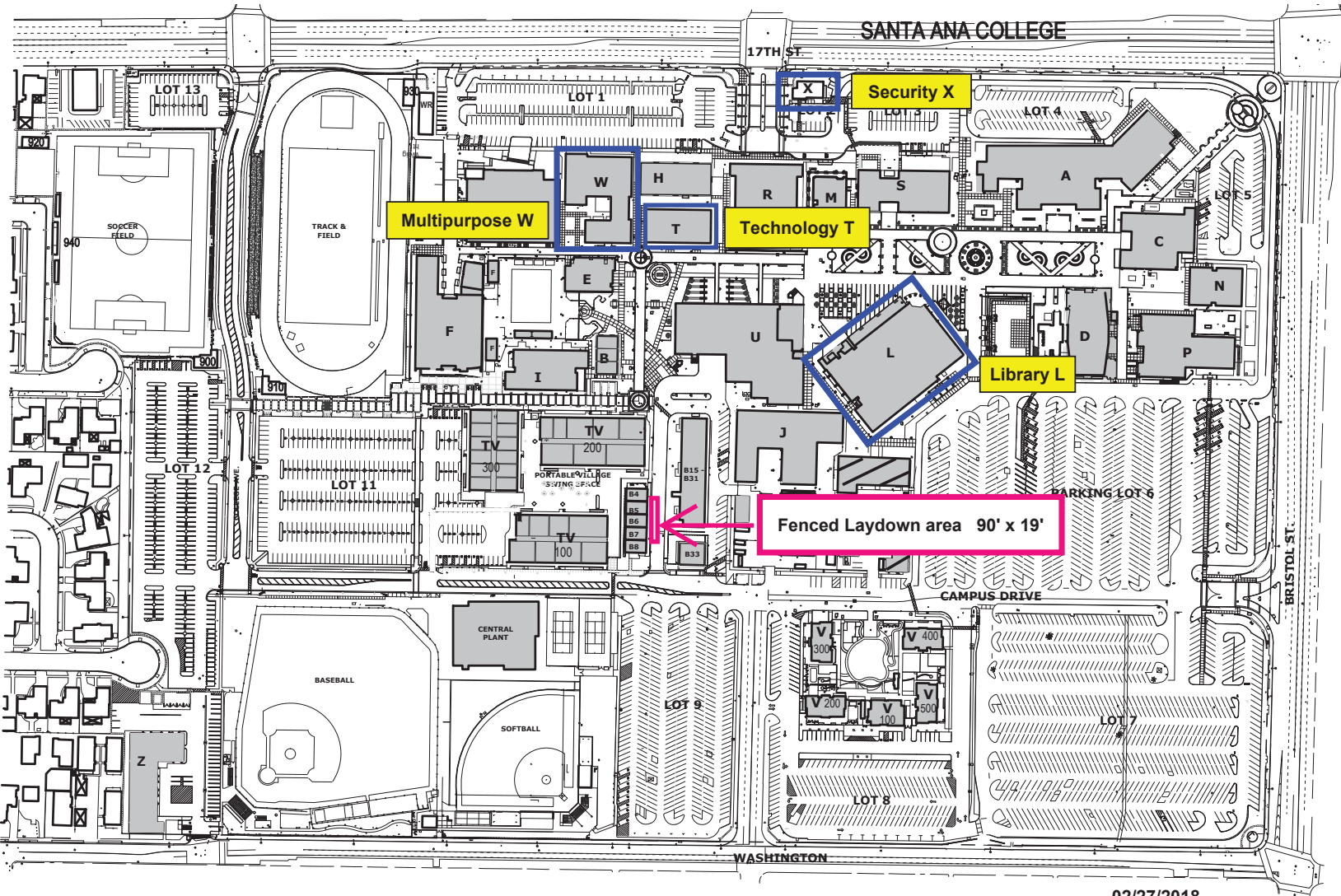
Library L

Fenced Laydown area 90' x 19'

WASHINGTON

BRISTOL ST

02/27/2018



Laydown Area

Laydown area for Buildings L, T, W X-Roof and HVAC Replacements

Security X

Legend

● Nealley Library

Multipurpose W

Technology T

Library L

Santa Ana College

Santa Ana College

Fenced Laydown area 90' x 19'

The Village

Middle

Science Center

Google Earth

Image Landsat / Copernicus

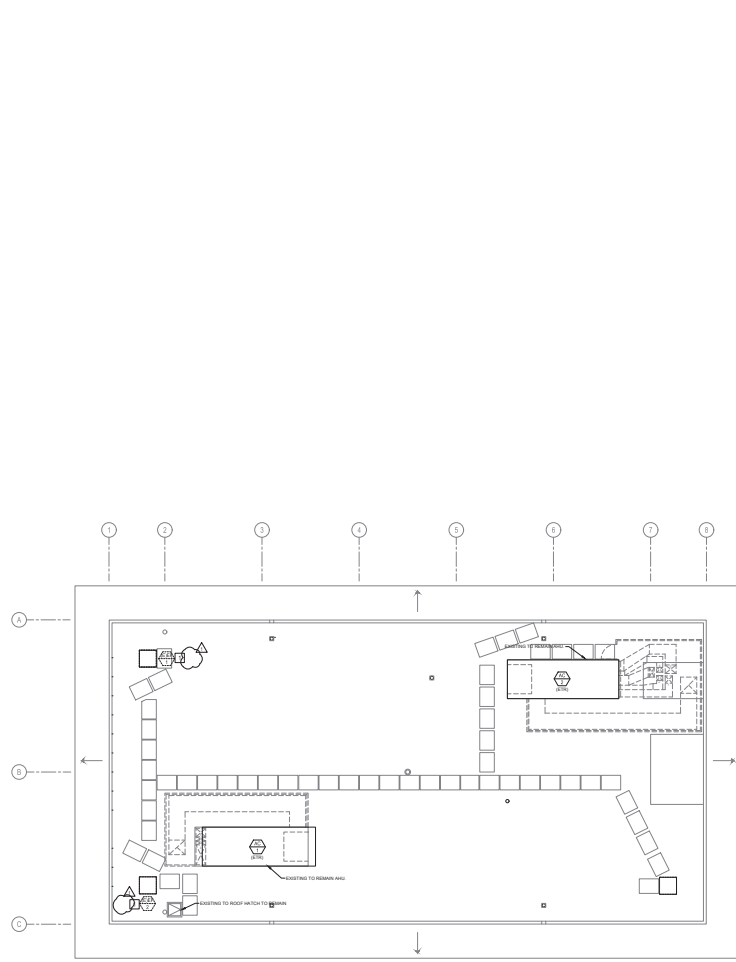
200 ft



Laydown area.



ATTACHMENT E ARCHITECTS ADDENDUM DRAWINGS



ELECTRICAL GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY EXISTING PHASE AND VOLTAGE AGAINST THE EQUIPMENT PRIOR TO PURCHASE OF EQUIPMENT.
- STABILIZE-DEWAST FOR ASSOCIATED-CODES/PLANS AND DEMONSTRATE BEFORE EXISTING ELECTRICAL WORK/PLANS SHALL BE SECURED UNLESS NOTED OTHERWISE.

pacific rim
ARCHITECTS
5912 bolton ave | ste 212
huntington beach | ca 92649
ph: 714.840.2100 or 714.840.2101
www.pacificrimarchitects.com

INDEPENDENT
REGISTERED PROFESSIONAL ENGINEER
ELECTRICAL
11000 WILSON AVENUE, SUITE 100
DOWNEY, CALIFORNIA 90241
TEL: 909-592-1620 FAX: 909-592-1630
WWW.INDEPENDENTREGISTERED.COM

DATE	NO.	REVISION
01/18/2024	001	ISSUE FOR PERMITTING
01/18/2024	002	REVISED TO ADD ELECTRICAL SYMBOLS
01/18/2024	003	REVISED TO ADD ELECTRICAL SYMBOLS
01/18/2024	004	REVISED TO ADD ELECTRICAL SYMBOLS
01/18/2024	005	REVISED TO ADD ELECTRICAL SYMBOLS
01/18/2024	006	REVISED TO ADD ELECTRICAL SYMBOLS
01/18/2024	007	REVISED TO ADD ELECTRICAL SYMBOLS
01/18/2024	008	REVISED TO ADD ELECTRICAL SYMBOLS
01/18/2024	009	REVISED TO ADD ELECTRICAL SYMBOLS
01/18/2024	010	REVISED TO ADD ELECTRICAL SYMBOLS

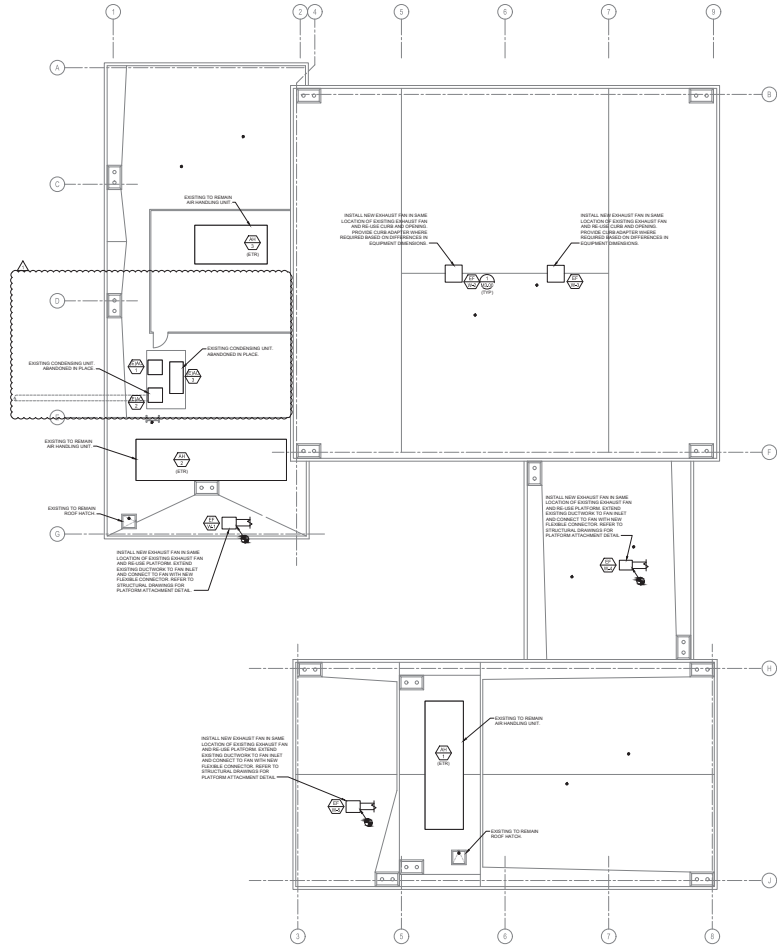
**RSCCD REROOFING AND
HVAC REPLACEMENT
Santa Ana College (SAC)
Building L, T, W, & X
1530 W 17th Street Santa Ana, CA 92706**

**ELECTRICAL
DEMOLITION
ROOF PLAN
BUILDING 'T'**

1 ELECTRICAL ROOF PLAN DEMOLITION
SCALE: 1/8"=1'-0"

DATE	NO.	REVISION
01/18/2024	001	ISSUE FOR PERMITTING
01/18/2024	002	REVISED TO ADD ELECTRICAL SYMBOLS
01/18/2024	003	REVISED TO ADD ELECTRICAL SYMBOLS
01/18/2024	004	REVISED TO ADD ELECTRICAL SYMBOLS
01/18/2024	005	REVISED TO ADD ELECTRICAL SYMBOLS
01/18/2024	006	REVISED TO ADD ELECTRICAL SYMBOLS
01/18/2024	007	REVISED TO ADD ELECTRICAL SYMBOLS
01/18/2024	008	REVISED TO ADD ELECTRICAL SYMBOLS
01/18/2024	009	REVISED TO ADD ELECTRICAL SYMBOLS
01/18/2024	010	REVISED TO ADD ELECTRICAL SYMBOLS

ED1.01



1 MECHANICAL ROOF PLAN
SCALE: 1/8" = 1'-0"

pacific rim
ARCHITECTS
5912 bobba ave | ste 212
northridge beach | ca 92649
ph: 714.840.2100 | fx: 714.840.2101
www.pacificrimarchitects.com

INDEPENDENT
REGISTERED PROFESSIONAL ENGINEER
NO. 45193
TEL: 949.451.9429 FAX: 949.451.9430
WWW.INDEPENDENTENR.COM

06/16/2024

SEAL
M. 26519
REGISTERED PROFESSIONAL ENGINEER
NO. 26519
EXPIRES 06/16/2028

NO.	REV.	DATE
01		01/14/2024
02		01/14/2024
03		01/14/2024
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100		01/14/2024

RSCCD REROOFING AND HVAC REPLACEMENT
Santa Ana College (SAC)
Building L, T, W, & X
1530 W 17th Street Santa Ana, CA 92706

MECHANICAL ROOF PLAN BUILDING 'W'

SHEET TITLE

PROJECT NUMBER: PRA-8000-01

DATE: 01-14-2024

DESIGNED BY: TRC

PROJECT NUMBER: PRA-8000-01

SHEET: 1

M1.02

REROOFING & HVAC REPLACEMENT
SANTA ANA COLLEGE - BUILDING L, T, W, & X

- B. Niagara Framework Products: Products and stations supplied from the list of acceptable manufacturers in the following table shall be based on the latest version of the Niagara Framework and be supplied with an open NiCS license that shall not limit access or connectivity to the Niagara station in any way. Open access to the station shall allow any brand compatibility in and out of the station and tool compatibility in and out of the station.

1. EMCOR Services / Mesa Energy Systems. Contact RT Gibson. (949) 410 - 5282
rgibson@emcor.net

2. RL Controls. Contact Robert Levy. (562) 991 - 4823. robertlevy@gmail.com

3. Envisi (aka Southland). Contact Craig Gonzalez. (800) 613 - 6240.
cgonzalez@southland.com

4. Next Level Services. Contact Sandeep Dhillon. (213) 503 – 2022. sd@nextlevelems.com

1

- C. The above list of manufacturers applies to operator workstation software, controller software, the custom application programming language, building controllers, custom application controllers, and application specific controllers. All other products specified under Division 23 Section “Instrumentation and Control Devices for HVAC” need not be manufactured by the above manufacturers.

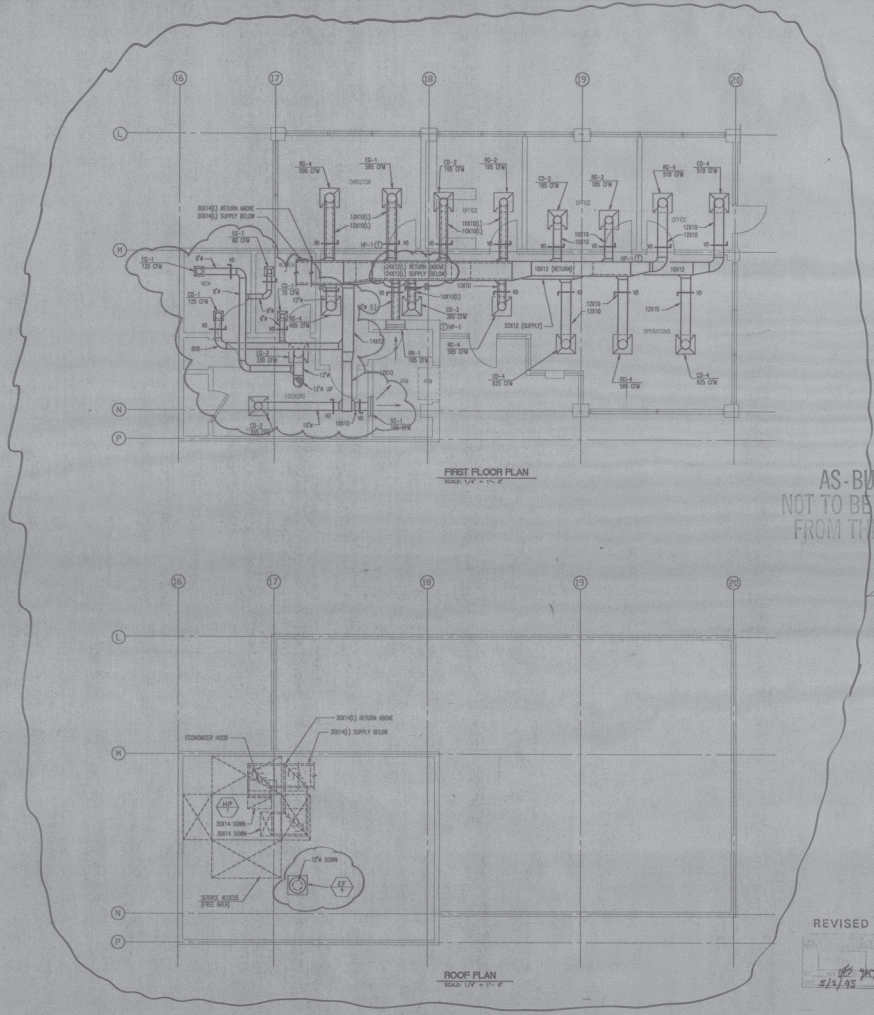
2.2 SYSTEM DESCRIPTION

- A. General:



District Record Drawings

Building L	Building W	
M2.0	A4.1	
M3.0		
M4.0		
Building T	Building X	Overall Site Plan
M-1	M2.1(r)	A1.0G.3



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

ROOF PLAN
SCALE: 1/4" = 1'-0"

AS-BUILTS
NOT TO BE REMOVED
FROM THIS OFFICE

As-Built
To Architect
M.Z.R.-AS
in the
field
MPC

BUSINESS/COMPUTER BUILDING
RANCHO SANTIAGO COMMUNITY
COLLEGE DISTRICT
SANTA ANA CAMPUS



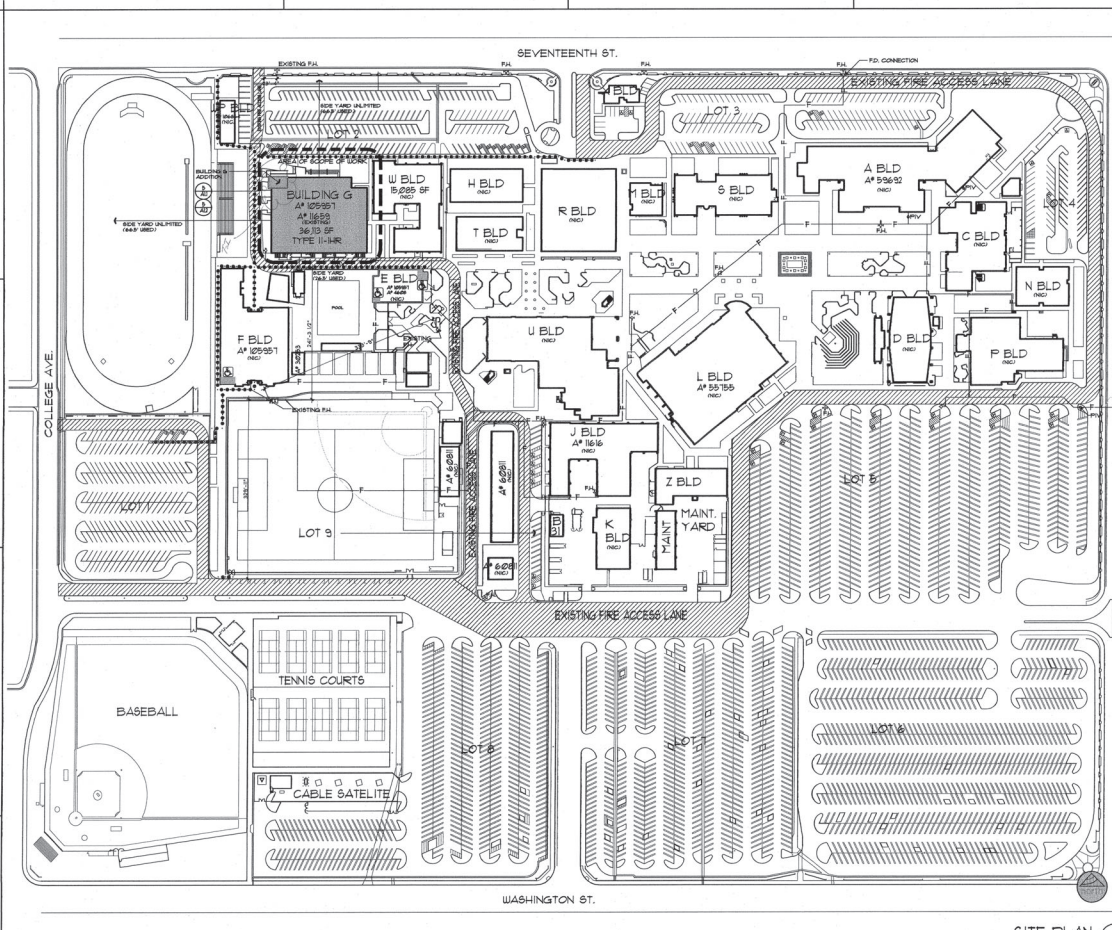
Sheet Title

**MECHANICAL
FIRST FLOOR PLAN
ROOF PLAN
SECURITY BLDG.**

Scale: 1/4" = 1'-0"
Project Number: 88-50
Designed By: J.F. EJB
Drawn By: J.F.
Checked By: JC
Date: MAY 18, 1994

REVISED
5/1/92

Sheet Number
M2.1 (R)
Of Sheets



FIRE DEPARTMENT ACCESS AND FIRE HYDRANT NOTES

ALL FIRE DEPARTMENT ACCESS SHALL BE MINIMUM 10'-0" IN WIDTH.
 HOODS, MOORS, HANGERS SHALL BE PROVIDED ON BUILDINGS AND GATES.
 LOCATION TO BE FIELD APPROVED BY CITY OF SANTA ANA DEPARTMENT.
 ALL BUILDINGS SHALL HAVE 4" HIGH INDIVIDUAL ALPHABET LETTER IDENTIFICATION
 PLACED TO THE EXTERIOR.
 NEW BUILDINGS TO HAVE FULLY AUTOMATIC FIRE ALARM SYSTEM WITH PULL STATIONS
 AT EACH CLASSIFICATION AREA AND DISTRIBUTION.
 FIRE HYDRANTS SHALL PROVIDE A FLOW OF 500 GPM FOR 2 HOURS AT 20 PSI.

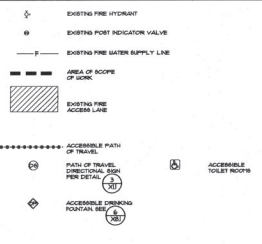
FIRE DEPARTMENT NOTES

LOCAL FIRE AGENCY - ACCESS ROAD AND GATE ENTRANCE APPROVAL
 FIRE DEPARTMENT ACCESS, EGRESS AND GATE ENTRANCES HAVE BEEN
 REVIEWED FOR COMPLIANCE WITH SECTION 1408 AND 1409. TITLE 18
 FIRE ALARM AND FIRE HYDRANTS HAVE BEEN REVIEWED FOR COMPLIANCE
 WITH SECTION 1408 AND 1409. FIRE ALARM AND FIRE HYDRANTS SHALL BE
 FIELD APPROVED BY CITY OF SANTA ANA DEPARTMENT.

BY: KARE ELLMAN
 SANTA ANA FIRE DEPARTMENT
 1000 N. COLLEGE AVE.
 SANTA ANA, CA 92701
 PH: 949.243.3333

SIGNATURE: *[Signature]* DATE: 10/26/16
 POWER SOURCE HAS BEEN INVESTIGATED AND IS ADEQUATE FOR LOAD.
 ARCHITECT: *[Signature]* DATE: 10/26/16

LOCAL FIRE APPROVAL



- SITE PLAN NOTES**
- ALL WORK SHOWN IS NEW UNLESS NOTED OTHERWISE.
 - PROTECT EXISTING UTILITIES AND REPAIR REPAIRS AND CORRECT ANY DAMAGE TO EXISTING UTILITIES.
 - FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF ALL UTILITY POINT OF CONNECTIONS BY POTENTIAL PRIOR TO BEGINNING WORK.
 - PATH OF TRAVEL CROSS-SLOPE SHALL BE 2% MAXIMUM, TYPICAL.
 - VERIFY ALL DIMENSIONS, LOCATIONS OF EXISTING STRUCTURES AND CONDITIONS ON THE JOB PRIOR TO THE START OF WORK.
 - NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS.
 - EXISTING CONDITIONS ARE INDICATED AS A RESULT OF INFORMATION SHOWN ON AVAILABLE RECORDS AND FIELD CONDITIONS AT TIME OF PREPARATION.
 - RELOCATE AND PATCH EXISTING PAVING AS REQUIRED FOR NEW UTILITY SERVICE AND ALL OTHER UNDERGROUND WORK.
 - PAVED/PAVED SECTIONS OVER BASE REFER TO GEOTECHNICAL REPORT IN SPECIFICATIONS PROJECT MANUAL VOLUME 1.
 - SEE ALL X1 AND X2 SHEETS FOR TYPICAL SITE DETAILS.
 - FOR NEW CONCRETE SLAB ON GRADE SEE 301.

- PATH OF TRAVEL NOTES**
- FOR GRATES LOCATED IN THE SURFACE OF ANY PEDESTRIAN WAY IN THE PATH OF TRAVEL, DISCREPANCIES IN GRATES SHALL BE LIMITED TO 1/2" MAXIMUM IN THE DIRECTION OF TRAFFIC FLOW.
 - PATH OF TRAVEL (PTT) AS INDICATED IS A BARRIERS FREE ACCESS ROUTE TO ALL AREAS OF THE PROJECT. BARRIERS FREE ACCESS ROUTE SHALL BE AT LEAST 48" WIDE, UNLESS OTHERWISE NOTED. BARRIERS FREE ACCESS ROUTE SHALL BE AT LEAST 48" WIDE, UNLESS OTHERWISE NOTED. BARRIERS FREE ACCESS ROUTE SHALL BE AT LEAST 48" WIDE, UNLESS OTHERWISE NOTED. BARRIERS FREE ACCESS ROUTE SHALL BE AT LEAST 48" WIDE, UNLESS OTHERWISE NOTED. BARRIERS FREE ACCESS ROUTE SHALL BE AT LEAST 48" WIDE, UNLESS OTHERWISE NOTED.

	PARKING LOT									TOTALS
	1	2	3	4	5	6	7	8	9	
STANDARD PARKING SPACES	180	180	180	180	180	180	180	180	180	1800
ACCESSIBLE PARKING SPACES	2	2	2	2	2	2	2	2	2	18
MAX ACCESSIBLE PARKING SPACES	1	1	1	1	1	1	1	1	1	9
TOTAL SPACES PROVIDED	183	183	183	183	183	183	183	183	183	1828
ACCESSIBLE PARKING SPACES REQUIRED	9	9	9	9	9	9	9	9	9	81
STANDARD ACCESSIBLE SPACES	1	1	1	1	1	1	1	1	1	9
MAX ACCESSIBLE SPACES	1	1	1	1	1	1	1	1	1	9

PARKING RATIO CALCULATIONS
 (PER 1208 AND TABLE 11B-6)

FOR REFERENCE ONLY

LEGEND AND GENERAL NOTES

IBI GROUP
 15401 Von Karman Ave.
 Suite 100
 Irvine, CA 92618
 PH: 949.251.5555
 FAX: 949.251.5511



PROJECT:
 SANTA ANA COMMUNITY COLLEGE
 BUILDING G RESTROOM ADDITION

ARCHITECT:
 IBI GROUP

DATE:
 10/26/16

SCALE:
 AS SHOWN

PROJECT NO:
 16-00000000

DATE:
 10/26/16

PROJECT NO:
 16-00000000

DATE:
 10/26/16

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PROJECT NO:
 16-00000000

DATE:
 10/26/16

PROJECT NO:
 16-00000000



Photos

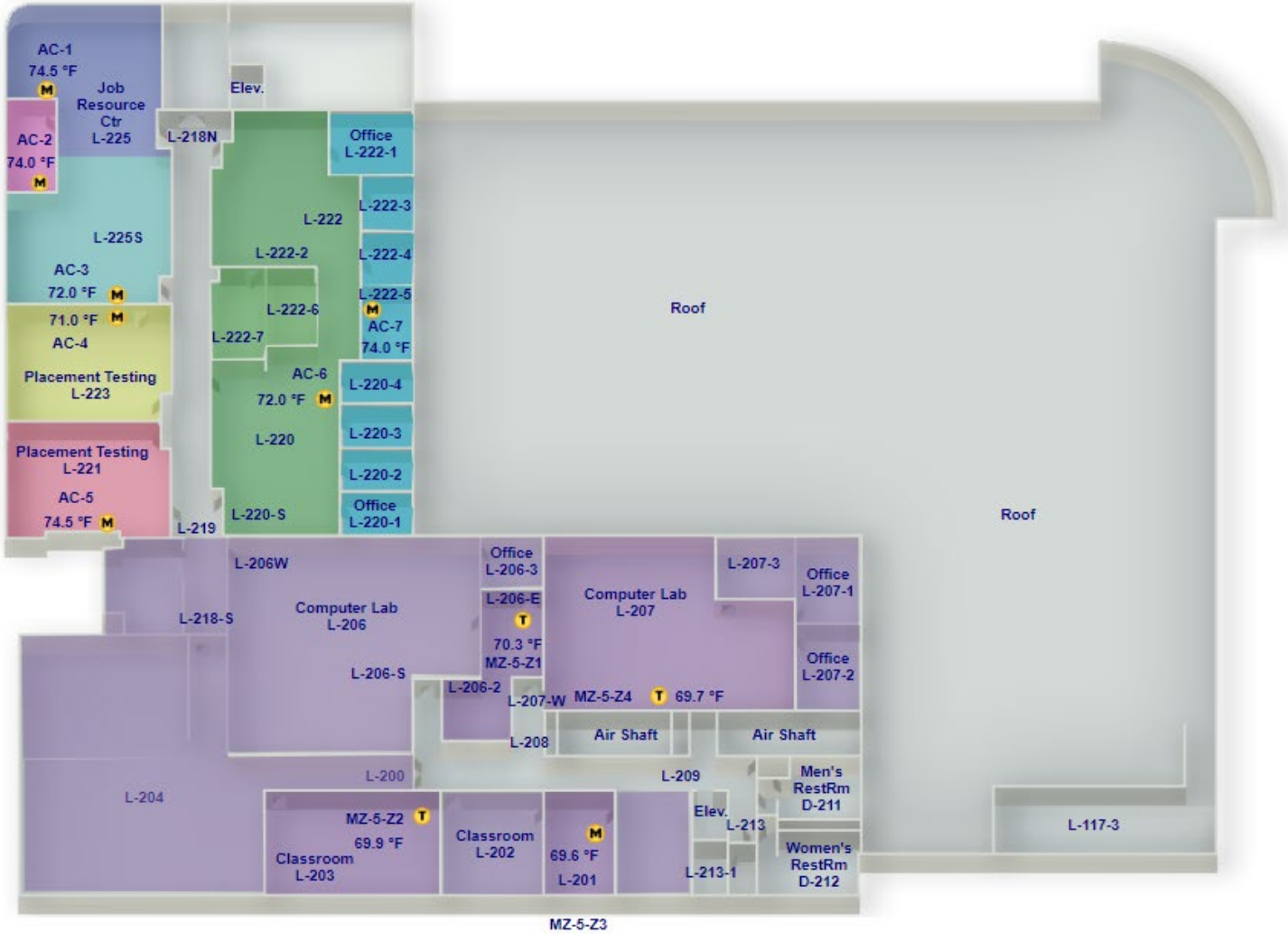








Building L Second Floor



PRE-BID CLARIFICATION FORM

(Email this completed form to FacilitiesBid@rsccd.edu. See Instructions to Bidders.)

PROJECT NAME:	Bldgs L, T, W & X- HVAC & Roof Replacements Project at Santa Ana College		
PROJECT NUMBER:	2993 2957	BID NUMBER:	1461
EMAIL TO: facilitiesbid@rsccd.edu			
DATE:	8/29/2024		
FROM:	Woodcliff Corporation	EMAIL:	bids@woodcliff.net
SPEC SECTION:		DRAWING NUMBER:	
REQUESTED CLARIFICATION:			
Please advise engineer's estimate for the project			
RESPONSE TO CLARIFICATION:			
Range is between \$1,400,000 and \$1,700,000. Answered by RSCCD 09/17/24			

END OF DOCUMENT

PRE-BID CLARIFICATION FORM

(Email this completed form to FacilitiesBid@rsccd.edu. See Instructions to Bidders.)

PROJECT NAME:	Bldgs L, T, W & X- HVAC & Roof Replacements Project at Santa Ana College		
PROJECT NUMBER:	2993 2957	BID NUMBER:	1461
EMAIL TO: facilitiesbid@rsccd.edu			
DATE:	September 5, 2024		
FROM:	Allison Mechanical Inc	EMAIL:	Office@allison1.net
SPEC SECTION:		DRAWING NUMBER:	
REQUESTED CLARIFICATION:			
How many rooms does each of the HVAC units getting replaced affect? so we can know how many portable units are need for temp air.			
RESPONSE TO CLARIFICATION:			
Building L units AC-1 to AC-5 each have one classroom sized room. Building L unit AC-6 has four rooms; two classroom sized, and two offices. Building L unit AC-7 has 8 office sized rooms. Building X has 7 rooms that vary in size. See also Attachment F - Zoning diagram for further information. Answered by RSCCD 09/17/24			

END OF DOCUMENT

PRE-BID CLARIFICATION FORM

(Email this completed form to FacilitiesBid@rsccd.edu. See Instructions to Bidders.)

PROJECT NAME:	Bldgs L, T, W & X- HVAC & Roof Replacements Project at Santa Ana College		
PROJECT NUMBER:	2993 2957	BID NUMBER:	1461
EMAIL TO: facilitiesbid@rsccd.edu			
DATE:	09/10/24		
FROM:	Allison Mechanical Inc.	EMAIL:	office@allison1.net
SPEC SECTION:		DRAWING NUMBER:	
REQUESTED CLARIFICATION:			
Can you please give us a diagram of what concrete is fire rated? So we know where we can set up crane on campus			
RESPONSE TO CLARIFICATION:			
Please find attached District Record Drawing A1.OG.3 for reference. Answered by Pacific Rim Architects 09/17/24			

END OF DOCUMENT

PRE-BID CLARIFICATION FORM

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PROJECT NAME:	Bldgs L, T, W & X- HVAC & Roof Replacements Project at Santa Ana College		
PROJECT NUMBER:	2993 2957	BID NUMBER:	1461
EMAIL TO: facilitiesbid@rsccd.edu			
DATE:	09/10/24		
FROM:	Allison Mechanical Inc.	EMAIL:	office@allison1.net
SPEC SECTION:		DRAWING NUMBER:	
REQUESTED CLARIFICATION:			
Can you provide a schedule for the units and fans that are getting removed?			
RESPONSE TO CLARIFICATION:			
See sheet M5.00 Answered by Pacific Rim Archtects 09/17/24			

END OF DOCUMENT

PRE-BID CLARIFICATION FORM

(Email this completed form to FacilitiesBid@rsccd.edu. See Instructions to Bidders.)

PROJECT NAME:	Bldgs L, T, W & X- HVAC & Roof Replacements Project at Santa Ana College		
PROJECT NUMBER:	●● 2457	BID NUMBER:	1461
EMAIL TO: facilitiesbid@rsccd.edu			
DATE:	9.9.2024		
FROM:	AC Pros Inc	EMAIL:	Estimating@Acprosinc.com
SPEC SECTION:		DRAWING NUMBER:	A2.03 note 9
REQUESTED CLARIFICATION:			
Please advise length of refrigerant piping to be demolish			
RESPONSE TO CLARIFICATION:			
No longer part of the contract. See also as described above in Item No. AD 1-2: Revised Drawings. Answered by Pacific Rim Architects and RSCCD 09/17/24			

END OF DOCUMENT

PRE-BID CLARIFICATION FORM

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PROJECT NAME:	Bldgs L, T, W & X- HVAC & Roof Replacements Project at Santa Ana College		
PROJECT NUMBER:	●● 2957	BID NUMBER:	1461
EMAIL TO: facilitiesbid@rsccd.edu			
DATE:	9.9.2024		
FROM:	AC Pros Inc	EMAIL:	Estimating@Acprosinc.com
SPEC SECTION:		DRAWING NUMBER:	S3.30
REQUESTED CLARIFICATION:			
<p>Details 1,2 & 5 have several notes that it is the GC responsibility to verify items and if they are missing to add (lag bolts, lumber & sht'g to be fire rated, 4x sleepers).</p> <p>For a fair bid process, and that all contractors will bid "apples to apples" can we get this item quantified? or perhaps the Owner can add this in their allowance?</p>			
RESPONSE TO CLARIFICATION:			
<p>For bidding purposes, GC shall assume elements listed for verification (including purlins) are existing. Note 6 on Detail 5 shall apply to details 1, 2 and 5 on sheet 3.30 with "prior to equipment anchorage" replaced with "prior to equipment anchorage. Notify engineer if existing members are not present at least 36 hours prior to equipment placement".</p> <p>District will deal with any items that need to be repaired or added using the District's allowance budget.</p> <p>Answered by Pacific Rim Architects 09/17/24 and RSCCD.</p>			

END OF DOCUMENT

PRE-BID CLARIFICATION FORM

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PROJECT NAME:	Bldgs L, T, W & X- HVAC & Roof Replacements Project at Santa Ana College		
PROJECT NUMBER:	●●● 2957	BID NUMBER:	1461
EMAIL TO: facilitiesbid@rsccd.edu			
DATE:	9.9.2024		
FROM:	AC Pros Inc	EMAIL:	Estimating@Acprosinc.com
SPEC SECTION:		DRAWING NUMBER:	
REQUESTED CLARIFICATION:			
Does the Owner have an estimate for this project			
RESPONSE TO CLARIFICATION:			
Range is between \$1,400,000 and \$1,700,000. Answered by RSCCD 09/17/24			

END OF DOCUMENT

PRE-BID CLARIFICATION FORM

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PROJECT NAME:	Bldgs L, T, W & X- HVAC & Roof Replacements Project at Santa Ana College		
PROJECT NUMBER:	●●● 2957	BID NUMBER:	1461
EMAIL TO: facilitiesbid@rsccd.edu			
DATE:	9.9.2024		
FROM:	AC Pros Inc	EMAIL:	Estimating@Acprosinc.com
SPEC SECTION:	Attachment D General Note #4	DRAWING NUMBER:	
REQUESTED CLARIFICATION:			
<p>Please advise if general note #4 in attachment D apply for craning the HVAC equipment on and of the roof in building L, also, does it apply to unload and remove the old roofing from all buildings.</p>			
RESPONSE TO CLARIFICATION:			
<p>Please see attached revised Attachment D Staging and Logistic Plan.</p> <p>Answered by RSCCD 09/17/24</p>			

END OF DOCUMENT

PRE-BID CLARIFICATION FORM

(Email this completed form to FacilitiesBid@rsccd.edu. See Instructions to Bidders.)

PROJECT NAME:	Bldgs L, T, W & X- HVAC & Roof Replacements Project at Santa Ana College		
PROJECT NUMBER:	2993 2957	BID NUMBER:	1461
EMAIL TO: facilitiesbid@rsccd.edu			
DATE:	9/11/24		
FROM:	Amaure Morales	EMAIL:	amorales@airemasters-ac.com
SPEC SECTION:		DRAWING NUMBER:	M5.00
REQUESTED CLARIFICATION:			
Can the Trane Rooftop Unit be substituted for a Carrier Unit for unit RTU-L-8, on Building L			
RESPONSE TO CLARIFICATION:			
<p>The existing RTU has side ductwork connections and new Carrier RTU can only be configured with end ductwork connections which would require an adapter curb and additional rooftop ductwork to accommodate rotation and that is not acceptable. The specified Trane RTU shall be configured with side connections matching the existing RTU.</p> <p>Answered by Pacific Rim Architects 09/17/24</p>			

END OF DOCUMENT

PRE-BID CLARIFICATION FORM

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PROJECT NAME:	Bldgs L, T, W & X- HVAC & Roof Replacements Project at Santa Ana College		
PROJECT NUMBER:	●● 2957	BID NUMBER:	1461
EMAIL TO: facilitiesbid@rsccd.edu			
DATE:	9.9.2024		
FROM:	AC Pros Inc	EMAIL:	Estimating@Acprosinc.com
SPEC SECTION:	23 05 93 - Test & Balance	DRAWING NUMBER:	
REQUESTED CLARIFICATION:			
<p>Specification section 23 05 93 calls out to balance the entire HVAC system including inside the buildings (air outlets & inlets). Please clarify if we need to balance the new equipment only or the entire system related to these new units, if entire system is to be balance please provide full layout and CFM requirement</p>			
RESPONSE TO CLARIFICATION:			
<p>Correct, the entire HVAC system to be re-balanced once new HVAC units are installed to confirm design airflows are achieved in each room served by the unit. See record drawings for original design CMFs.</p> <p>Answered by Pacific Rim Architects 09/17/24</p>			

END OF DOCUMENT